



◆ ESTATE D'AFRIQUE ◆  
REFINED COUNTRY LIVING

# ARCHITECTURAL DESIGN RULES

2025



BEAU RIVAGE  
VILLE D'AFRIQUE  
PORT PROVENCE

1	INTRODUCTION
2	ESTATE ARCHITECT
3	OBJECTIVE
4	APPOINTING AN ARCHITECTURAL PROFESSIONAL
5	ESTATE APPROVED ARCHITECTURAL PROFESSIONALS
6	PROCEDURE FOR SUBMITTING BUILDING PLANS AND FEES PAYABLE
7	GUIDANCE ON WHEN AESTHETIC APPROVAL IS REQUIRED
8	PROCEDURE FOR SUBMISSION TO THE AESTHETICS COMMITTEE
9	ALTERATIONS AND ADDITIONS DURING CONSTRUCTION
10	ARCHITECTURAL STYLE
11	TOWN-PLANNING
12	RIVER SIDE CLUSTER UNITS DESIGN GUIDANCE
13	PROPERTY SURVEY
14	PRIVACY
15	PLAN FORMS AND APPEARANCE
16	EXTERNAL WALLS
17	WINDOWS AND EXTERNAL DOORS
18	SHUTTERS
19	GARAGE DOORS
20	BALUSTRADES
21	PITCHED ROOFS
22	FLAT ROOFS
23	CHIMNEYS
24	PERGOLAS AND COVERED TERRACES
25	STRUCTURAL COLUMNS, PILLARS AND PIERS
26	PAVING AND EXTERIOR FLOOR FINISHES
27	OUTBUILDINGS
28	BOUNDARY WALLS AND FENCES
29	SERVICE YARD – LAUNDRY REFUSE AND GAS
30	PEDESTRIAN, GARDEN AND DRIVEWAY GATES
31	RETAINING STRUCTURES
32	HOUSE NUMBERS
33	JETTIES
34	LANDSCAPE REQUIREMENTS
35	SOIL, WASTE PIPES AND SWIMMING POOLS
36	SATELLITE DISHES AND AERIALS
37	SOLAR WATER HEATERS AND PHOTOVOLTAIC (PV) PANELS
38	AIR CONDITIONING UNITS AND HEAT PUMPS
39	LIGHT FITTINGS
40	STORM WATER AND GREY WATER STORAGE
41	WATER CONNECTION POINT
42	SEWER CONNECTION POINT
43	FIBRE CONNECTION POINT

## **Index of Appendices**

Appendix A	Acceptance Criteria for Approved Architects
Appendix B	Submission Form
Appendix C	Project Information Review Form and Checklist
Appendix D	Request for Minor Changes During Construction
Appendix F	Application for Alterations and Additions
Annexure 1	Selected conceptual pictures

## 1. INTRODUCTION

Estate d'Afrique is a security village situated along the banks of the crocodile river at the mouth of the Hartbeespoort dam. The estate consists of three French provincial style villages - Beau Rivage, Ville d'Afrique and Port Provence. The setting provides magnificent views over the Crocodile River as well as across the dam to the north.

The individual stands vary in sizes with each erf having an individual character and features that require specific design expertise to make full use of the potential of each site.

Port Provence is characterised by two distinctly unique styles of living. The Mountainside Free-standing erven, these are individual stands similar to Beau Rivage and Ville d'Afrique and the Riverside Cluster units. The Riverside cluster units re-create a typical French Provencal harbour Village, such as Cassis, Menton or Portofino in northern Italy. A typical European lifestyle is intended where security and assistance is enhanced by the close proximity of the units. The units have been designed in such a way, as to make best use of waterfront and views, without compromising privacy and individuality of the owners.

The member is hereby referred to the terms and conditions in the Agreement of Sale which deems to exist between the Seller and the Purchaser that may be applicable by implication or otherwise in terms of these Architectural Rules.

## 2. ESTATE ARCHITECT

### *Co-ordinating Architect*

Studio mhr Architects  
Contact Person  
Cell:  
E-mail:

Ryan Pettey  
082 403 1504  
ryan@rmail.co.za

### **3. OBJECTIVE**

The objective of this manual is to effectively control the design of individual dwelling units in order to achieve the following:

To have each unit fit in and contribute to the unique character and style of the village that is created within this development.

To protect the rights of neighbouring owners by maintaining privacy and to avoid the obstruction of intended views and vistas of each co-owner.

To maintain an exceptional high standard of design and workmanship in the construction phase throughout the development.

For this purpose, an Estate d'Afrique Aesthetics Committee (EDAAC) has been established. The EDAAC will consist of a representative of each home owner's association, an Estate Architect, and a further appointee by the Home Owners Association.

Owners and their registered Architectural Professionals must familiarise themselves with the contents of this document and adhere to the rules and restrictions contained within, failure to do so may result in the rejection of the plans by the EDAAC which will be exercised in their sole discretion having regard to the rules and overall aesthetics of the Estate.

It is the discretion of the Master Owners Association to propose and or suggest alternative solutions or suggestions to accommodate the energy requirements which are also sensitive to the overall aesthetics of the Estate.

The EDAAC reserves the right to refuse aesthetic approval of any submission which is deemed to conflict with the Architectural Design Rules or conflict with the original intent of the design rule.

The EDAAC also reserves the right to suggest and enforce alternative design solutions which are more sensitive to the overall aesthetics of the Estate.

Should there be any matters not covered in the Architectural Design Rules and in the event of any difference of interpretation, the EDAAC shall make a ruling, which shall be binding.

### **4. APPOINTING AN ARCHITECTURAL PROFESSIONAL**

Only SACAP Registered professionals will be permitted to submit drawings for review.

Appendix A - ACCEPTANCE CRITERIA FOR APPROVAL OF REGISTERED PROFESSIONALS as well as Appendix B -SUBMISSION FORM must be completed and emailed with the required documents, to the estate office (admin@estatedafrique.com), before the architectural professional is appointed by the client.

Please contact the estate office to obtain the latest version of Appendix A and B.

### **5. ESTATE ACCREDITED ARCHITECTURAL PROFESSIONALS**

The estate recommends the use of accredited architectural registered professionals.

Please contact the estate office (admin@estatedafrique.com) and request a list of the accredited professionals.

A discounted plan scrutiny fee is applicable for plans submitted by these accredited professionals.

## 6. PROCEDURE FOR SUBMITTING BUILDING PLANS AND FEES PAYABLE

A scrutiny fee is payable before submission of drawings to the EDAAC. The current scrutiny fees are as follows – fees escalate annually. Should previously approved drawings be re-submitted for review then the alterations and additions review fee will be applicable.

		FEES	BUILDING DEPOSIT	<u>Review fees are to be paid to the following account.</u>
1	NEW PLANS – Estate accredited professional* (includes 3 reviews by the EDAAC)	R6 900.00	R50 000.00	<b>Estate d' Afrique</b> ABSA Branch code: 632 005 Account: 407 262 4531  Reference: STAND NUMBER + <ul style="list-style-type: none"> <li>• NEW</li> <li>• ALTERATION</li> <li>• ADDITIONS</li> <li>• MEETING</li> <li>• AS BUILT</li> <li>• MINOR</li> </ul> E-mail proof of payment to: admin@estatedafrique.com
2	NEW PLANS – Non-Estate accredited professional # (includes 3 reviews by the EDAAC)	R13 900.00	R50 000.00	
3	RE-SUBMISSION – this fee is payable upon the 3 <sup>rd</sup> submission of the same plan or for expired plans (includes 3 reviews by the EDAAC)	R3 900.00	N/A	
4	ALTERATIONS & ADDITIONS ≥ 20m <sup>2</sup> (includes 3 reviews by the EDAAC) A scanned copy of the previously approved drawings must be uploaded to Dropbox with your submission.	R4 000.00	R20 000.00	
5	ALTERATIONS & ADDITIONS ≤ 20m <sup>2</sup> and or boundary walls (pool safety SANS 10400-D), pools, change in floor level, windows/ doors added, etc. (includes 3 reviews by the EDAAC) A scanned copy of the previously approved drawings must be uploaded to Dropbox with your submission.	R3 000.00	R10 000.00	
6	MEETING REQUESTS - fee payable if a Teams/ Zoom meeting is requested with the architect	R2 350-00/hour	N/A	
7	AS-BUILT (includes 1 review by the EDAAC) An as-built submission includes any submission for which there are no approved municipal plans on record at the estate or Local Municipality of Madibeng. If there are alterations and additions to be included, then the applicable fee for alterations and additions needs to be added.	R2 500.00	N/A	
8	SANS 10400-A MINOR BUILDING WORKS (this is only applicable to the following minor works) (includes 3 reviews by the EDAAC). <ul style="list-style-type: none"> <li>• pergolas,</li> <li>• any wall / fence which is less than 1.5m from NGL, is not a boundary or retaining wall, and is not within the building lines or servitude, and which does not form part of pool safety.</li> <li>• conversion of a (one) door into a window or a (one) window into a door without increasing the width of the opening.</li> <li>• making of an (one) opening in a wall which does not affect the structural safety of the building.</li> <li>• alterations to any previously approved minor works which formed part of an original approval eg. changes to a previously approved boundary wall.</li> </ul> The above application will need to be made by a SACAP registered professional. Any submission needs to be of such a nature that the EDAAC can review the submission from an aesthetical point of view. The EDAAC reserves the right to request additional drawings or info during the review process. In some cases, the change/s can be made on the previously approved drawings. In these cases, the SACAP registered professional's details must be written next to the change on the drawings. The drawings need to be scanned on a flatbed scanner (PostNet or similar) and submitted electronically to Dropbox. A scanned copy of the previously approved drawings must also be uploaded to Dropbox with your submission. The estate does not require Madibeng approved drawings for these minor building works, but it remains the owner's responsibility to comply to the below. SANS 10400 PART A A1(5) "An application shall be made to the building control office for authorization to erect any building as defined as minor work or to carry out any work falling within the ambit of such definition, and any such erection or work shall not be commenced before such authorization has been granted".	R3 000.00	R10 000.00	

*\*The criteria to becoming an estate accredited professional.*

- *ensure that you comply with all the rules contained within this document.*
- *your full submission as well as all accompanying documentation must be approved within the first three (3) allocated review submissions.*
- *accreditation is reassessed at every new submission and can be revoked if the above criteria is not met.*

*Refer to clause 5 above for a list of accredited architectural professionals*

*# Should your submission be approved within the first three (3) allocated review submissions, R6 500.00 will be credited to the members levy account. The Architectural Professional will also be added to the accredited professionals list.*

## **7. GUIDANCE ON WHEN AESTHETIC APPROVAL IS REQUIRED.**

Owners intending to carry out any on the following activities (amongst others) must obtain prior written approval from the EDAAC.

New buildings

External alterations and additions to existing buildings

Painting and repair of existing external facades

Swimming pools, pergolas, external paving

Walls, gates or any landscaped construction.

Installation of satellite dishes, air-conditions, rainwater tanks, heat pumps, solar and photovoltaic panels.

Any installation which changes the external aesthetic of the structure or stand.  
including but not limited to wendy houses, jungle gyms, fire pits, decorative art, pergolas, fountains etc.

Any application that requires council approval (Local Municipality of Madibeng)

Sample approvals: Paint Colours and Ageing Technique, Shutters, Balustrades, Clay Roof Tiles, Paving, Exterior Floor Finishes.

No vacant stand can be developed, and no extensions or alterations can be made to existing structures that are inconsistent with the essence or style prescribed in these rules and the approval or rejection of plans are in the sole discretion of the EDAAC whose decision will be final.

Building plans submitted and approved by the EDAAC expire after 12 months if construction has not commenced within that period. All plans which have expired will require resubmission and review based on the latest version of the design rules. A resubmission fee is applicable.

## **8. PROCEDURE FOR SUBMISSION TO THE AESTHETICS COMMITTEE**

By this time your architectural professional must have been approved by the estate as per the requirements in annexure A.

Proof of payment of the scrutiny fee must be emailed to [admin@estatedafrique.com](mailto:admin@estatedafrique.com)

Once proof of payment is received a drop box link will be sent to you and your architectural professional.

You will find all the documents required to successfully submit your submission in the welcome folder on Drop Box.

Before drawings can be submitted to the local municipality of Madibeng they must be reviewed and approved by the EDAAC

In order to maintain the intended high standards of the development, it is recommended that the owner and his appointed architectural professional view houses that have already been built in the Estate before finalising their designs and building plans. It will avoid the tendency to create individual monuments at all cost, as seen in so many residential estates, which is detrimental to the intended character of the Estate as a whole.

Please note that your design will be reviewed based on the latest set of rules and that some constructed houses might not comply fully to the current rules and must thus not be used as precedents.

The EDAAC may request engineer's drawings and or approval for any portion of the design during the design review process.

### **PLEASE NOTE:**

Owner and their architectural professionals remain responsible for ensuring that their submission conforms to the latest architectural design rules. If there are any contraventions that don't conform (i.e. building line relaxations) or any proposals that you would like us to consider, these must be shared with us in writing (all proposal must remain true to the original intent of the rules). A proposal is only approved if specifically referred to by the EDAAC as being approved, please do not assume that just because it was submitted to the EDAAC that it will be approved. The EDAAC may refuse or give final approval of the written requests by the owner.

## **8.1. STAGE 1 - ELECTRONIC SUBMISSION – DESIGN CONCEPT.**

Drawings, specifications and documents submitted for review are to clearly indicate the SACAP registered professionals, name, registration number (indicate category of registration) and the name of his or her architectural practice.

Electronic PDF drawings as well as all the required documents must be uploaded to the Stage 1 submission folder (check out the welcome folder).

Stage 1 review focuses on the suitability of design concept and the general technical understanding of the rules. This is a preliminary review by the aesthetics committee to resolve issues with regards to the design and the technical compliance. The feedback must be regarded as introductory and is in no way a comprehensive scrutiny based on the entire set of rules.

The following is the minimum information that must be submitted for Stage 1

- **Accurate 3D COLOUR images of all elevations and a basic section and all elevation.**
  - Architectural Style, privacy, plan form and outbuildings
  - Indicate finishes/ materials and colours
  - Horizontal line for max height restriction (indicate actual level as per the Professional Land Surveyor)
  - Horizontal line at each floor level, wall plate and concrete roof/s (indicate actual levels as per the Professional Land Surveyor and dimension all)
  - Architectural design of roofs and pitch
  - Windows to be correct proportions and size.
- **Development data table**
  - FAR (Floor Area Ratio)
  - Coverage
  - First storey floor area to Ground storey floor area restriction - if applicable
- **Site Plan**
  - Erf Numbers
  - Neighbouring structures (Can be an image from google Earth)
  - North arrow
  - Erf boundaries and lengths
  - Proposed position of all structures
  - Building lines
  - Contours (Professional Land Surveyor certificate)
    - Indicate average contour.
    - Datum point
- **Professional Land Surveyors Certificate and Surveyed Plan**

**Feedback will be loaded into Stage 1 feedback folder.**

If the EDAAC does not approve the design concept the revise design must be resubmitted to stage 1 resubmission folder.

Once the EDAAC has given approval on the design concept please submitted to stage 2 folder for review.



## **8.2. STAGE 2 - ELECTRONIC SUBMISSION – COUNCIL DRAWINGS.**

All comments from stage 1 and all other info as required by council must be added to the drawings.

Please note that it remains the SACAP registered professionals' responsibility to ensure that the drawings submitted comply to Estate d' Afrique Architectural Design Rules, the National building regulations and Building Standards, SANS 10400, Occupational Health and safety Act and or any statutory requirement.

Site plan:	Scale 1:200 or 1:100
Floor plans.	Scale 1:50
Roof plan	Scale 1:100
Elevations	Scale 1:100
Sections	Scale 1:50
Window schedule	Scale 1:50
Boundary wall sections and elevations	Scale 1:20 – 1:50
Roof edge details/ section and elevation	Scale 1:20
Chimney details	Scale 1:20
Gate elevations and specifications.	Scale 1:20 – 1:50
Balustrade elevations and specifications	Scale 1:20 – 1:50
Updated and coordinated 3D images	
Typical notes	

**Feedback will be loaded into Stage 2 feedback folder.**

If the EDAAC does not approve this submission the revise design must be resubmitted to stage 2 resubmission folder.

Once the EDAAC has given approval, a final full set of drawings must be loaded into stage 3 submission folder.

## **8.3. STAGE 3 - HARD COPIES**

Only once the EDAAC have approved the stage 3 submission can hardcopies be printed.

4 (four) sets of drawings are to be delivered to Estate d' Afrique's admin office.

The owner and/ or registered professional will be notified via e-mail when the approved drawings are ready to be collected.

Before the approved drawings will be released from the estate office a full electronic set must be uploaded to the stage 3 submission folder on Drop Box- (this should have already been done as required under stage 2 above).

Once the drawings are approved and stamped by the EDAAC they can be submitted to the local municipality of Madibeng for approval.

Once approved by Madibeng one hard copy and one soft copy (PDF scanned, in colour, on a large format scanner) of the approved drawings (which clearly indicates the Madibeng approval stamp) must be submitted to the estate for their records. The Hardcopy must be submitted to the estate office. The soft copy must be loaded onto your estate Drop Box folder - Approved Madibeng drawings. Please note your submission for approval is only complete once this stage has been completed.

## **9. ALTERATIONS AND ADDITIONS DURING CONSTRUCTION**

Please note that the contractor is to adhere to the approved plans and construct the house strictly according to the approved drawings. No deviations are allowed without the prior written consent of the EDAAC. Request for changes are to be emailed to Estate d' Afrique admin office and written approval must be obtained from the EDAAC before the change is effected on site.

Should the change be of a substantial nature (to be determined by the EDAAC) then a full set of revised drawings will need to be submitted and approved by the EDAAC before any construction of the proposed change is started on site.

Small detail changes and requests can be

- e-mailed to the admin office [admin@estatedafrique.com](mailto:admin@estatedafrique.com) or
- samples can be delivered to the admin office or
- the owner can complete a **REQUEST FOR MINOR CHANGES DURING CONSTRUCTION – APPENDIX D** and email the completed form to [admin@estatedafrique.com](mailto:admin@estatedafrique.com). Only minor changes eg: change in window position, balustrade detail, paving type, paint colour, position, and type of shutter etc.

Approval of these minor changes are only valid once written approval is received from the estate.

Also see SCRUTINY FEE above.

## **10. ARCHITECTURAL STYLE**

The intent of the design concept is to recreate a Mediterranean, French Provençal village. This architectural style has been developed to create a specific atmosphere, with a high-quality lifestyle in mind. Elements of style are intended to create a vibrant homogeneous village, with enough variation to allow individuality and expression of personal taste.

Designs must be sensitive to the requirements of energy regulations in terms of aesthetics.

In order to preserve the Provençal character of the Estate, the use of stone 'plinths', is not permitted.

**NB - ONLY USE THE INFO APPLICABLE TO YOUR VILLAGE – IE: BEAU RIVAGE, VILLE D' AFRIQUE or PORT PROVENCE.**

**ALL INFORMATION SPECIFIC TO AN INDIVIDUAL VILLAGE IS CLEARLY MARKED.**

## **11. TOWN-PLANNING**

The restrictions set out below are in addition to conditions of the Title Deed, Town Planning Schemes and National Building Regulations.

Approval of plans is to the sole discretion of the EDAAC.

Approval by the EDAAC also does not absolve the need to comply with the restrictions imposed by the Local Authorities or National Building Regulations.

### **11.1.      DENSITY**

All villages

One unit per erf.

### **11.2.      MINIMUM HOUSE SIZE**

Ville d' Afrique & Port Provence - Mountainside free-standing erven and River side Cluster Units 220m<sup>2</sup> - this is the total gross building area and includes all covered spaces.

Beau Rivage

120 m<sup>2</sup> - this is the total gross building area and includes all covered spaces.

### **11.3.      FLOOR AREA RATIO**

Beau Rivage, Ville d' Afrique & Port Provence - Mountainside free-standing erven

Max FAR 0.6.

All spaces which are covered must be included in the FAR calculation.

Specific to Port Provence - River side Cluster Units

FAR not restricted. All proposals will be considered individually based on the submission of a Site Development Plan.

#### **11.4. COVERAGE**

*Beau Rivage, Ville d' Afrique & Port Provence - Mountainside free-standing erven*

Max 50% coverage,

Recommended 40% coverage for double storey units.

In order to construct a single storey dwelling with the same maximum FAR as permitted for double storey units, applications to the Local Authority to increase coverage for a single storey unit to 60% will be supported by the EDAAC

*Specific to Port Provence - River side Cluster Units*

Max 100% coverage. All proposals will be considered individually based on the submission of a Site Development Plan.

#### **11.5. FIRST STOREY AREA TO GROUND STOREY AREA RESTRICTION**

*specific to Beau Rivage*

First storey area restricted to 50% of the area of the ground storey. (Double volume area to be included as part of the first storey area calculation)

#### **11.6. 1 IN 100 YEAR FLOOD LINE AND RIVER SIDE CLUSTER BOAT HOUSES**

*Beau Rivage, Ville d' Afrique & Port Provence - Mountainside free-standing erven*

No structure shall be erected below the 1 in 100 year flood line, without the owner obtaining written consent from the Department of Water Affairs and Forestry.

*Specific to Port Provence - River side Cluster Units*

No structure, apart from approved Boathouses, shall be erected below the 1 in 100 year flood line.

No alterations to these structures shall be made without the owner obtaining written consent from the Department of Water Affairs and Forestry.

All boat houses along the Port waterfront (in front of the cluster units) to have flat concrete roofs. Rainwater from these flat roofs must discharge onto common property. No feature of these boat houses is to obstruct the view of any affected neighbour without the written consent of the affected parties. The roofs of the boat houses can either be tiled with roof tiles or floor tiles on condition that it is aesthetically pleasing and approved by the EDAAC. Ideally boat houses in this servitude should be built at the same time as the adjacent house to simplify construction and to ensure easy access to the boat house site during construction.

## 11.7. **BUILDING LINES**

### Beau Rivage, Ville d' Afrique & Port Provence - Mountainside free-standing erven

All building lines are 2 metres.

Application for the relaxation of building lines is possible in certain situations.

Each building line relaxation application is subject to EDAAC and Local Council review and approval.

Applications for relaxation of side building lines will only be supported by the EDAAC, with the consent of the owner of the affected property.

A site plan indicating the existing and proposed building lines, as well as a completed Local council building line relaxation form, both signed by all effected parties, must be submitted to the EDAAC with the first aesthetic review submission (STAGE 1).

If any work takes place between the boundary and the 2m building line, the owner must check for the existence of any services in these servitudes, before any excavation is carried out.

### Specific to Port Provence - River side Cluster Units

All building lines are 0 metres.

All proposals will be considered on submission of a Site Development Plan.

## 11.8. HEIGHT RESTRICTIONS

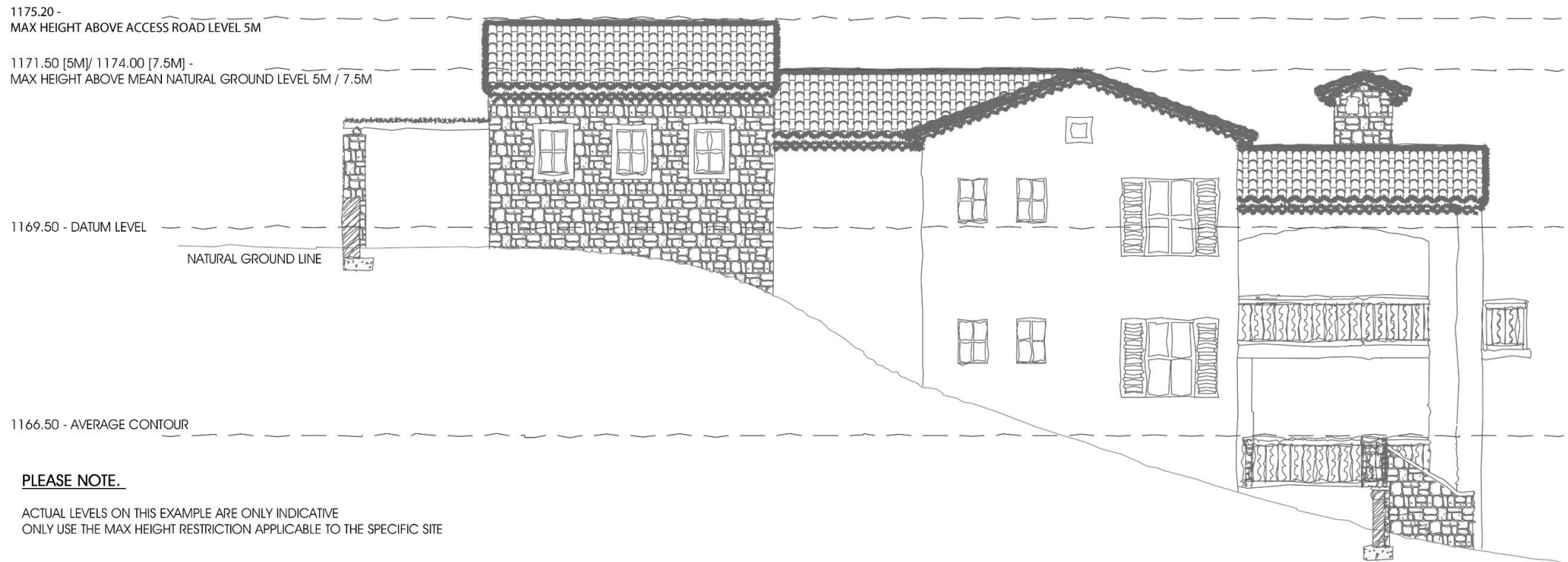
The site plan must indicate the highest and the lowest contour as well as the average contour.

All elevations and sections must indicate a horizontal line for the average contour level and the max height restriction.

No part of the building may exceed the height restriction.

Chimneys may exceed the height restriction by a max of 1 meter if required but only to comply with SANS 10400 – V

The method for calculating the mean height (average contour) must be described or must be certified by a registered surveyor.



Specific to Beau Rivage

7,5m - max height above mean natural ground level

Specific to Ville d' Afrique

7,5m - max height above mean natural ground level

*On severely sloping stands, entered from above, where the above height restriction limits access to the site, a height relaxation for the garage structure will be allowed (only garage structure).*

5m – max height of garage above access road or street level.

*On stands 1, 2, 3, 47 – 52, 58 – 63, 84 – 95*

5m - max height above mean natural ground level.

Specific to Port Provence - Mountainside Free-standing erven

7,5m - max height above mean natural ground level

*On stands 270, 271, 272, 273, 274, 275, 276, 278, 279, 282, 283 and on severely sloping stands, entered from above, where the above height restriction limits access to the site, a height relaxation for the garage structure will be allowed (only garage structure).*

5m – max height of garage above access road or street level.

Specific to Port Provence - River side Cluster Units

Erven 2-9, 11-18, 20-24 and 73-79, 81-88.

Floor levels of all cluster units should be identical for units adjoining each other. Finished floor to floor levels of all cluster units should be 3060mm working from the predetermined level of the platforms already created on site.

## 12. RIVER SIDE CLUSTER UNITS DESIGN GUIDANCE

Cluster units should be carefully designed due to the close proximity of adjoining units. Careful considerations should be given to the following:

Since bulk earthworks levels have been predetermined, and that units are constructed against each other, floor levels of all units should be strictly adhered to.

Point of access to the unit is restricted by the layout of the stand and should be carefully considered in the design and layout of the units.

Positions of bathrooms and kitchens are restricted by the position of sewer services on the site.

Positions of doors, windows & balconies, should be carefully considered to make best use of prevailing views, without compromising privacy between adjoining Units.

The following benchmark levels should be used:	
Boathouse Level	1163-000
Level 1	1166-060
Level 2	1169-120
Level 3	1172-180
Level 4	1175-240

## 13. PROPERTY SURVEY

*Beau Rivage, Ville d' Afrique & Port Provence - Mountainside free-standing erven*

All new properties must be surveyed by a professional land surveyor.

The surveyed plan must be uploaded to your submission 1 folder in PDF format together with the Professional Land Surveyors letter of good standing and PI insurance.

The following must be indicated.

- Contours at a minimum of 500mm intervals
- Fixed datum level (benchmark) – eg: top of an existing manhole.
- boundary line dimensions
- servitudes
- existing vegetation
- lamp poles, road signs, electrical boxes etc.
- kerb line and level
- municipal drainage connections
- electrical and water connection
- fibre connection
- existing neighbour's boundary walls (if applicable)



Corner pegs must also be identified or reinstated by the professional land surveyor and appropriately marked.

The datum level must be indicated on the site plan. The levels of the dwelling must be indicated with reference to this datum level and all levels must read in conjunction to each other (datum, contours, building levels). All surveyed info must also be incorporated onto the site plan.

A Professional Land Surveyor (the same surveyor as approved during your design submission) must peg the building footprint and must also confirm that the foundations have been correctly positioned - a certificate confirming that the building has been correctly positioned must be submitted prior to the stage 1 building control inspection being signed off.

The Land Surveyor will also be required to submit an as-built plan (outline of footprint on a site plan) confirming the accurate position of the building on the site. Dimensions from the ERF boundaries to the building footprint must be indicated. This certified plan is to be issued before your final building control inspection.

Contact the Estate' d Afrique office for the contact details of the recommended surveyor.

## **14. PRIVACY**

Due consideration of the neighbour's privacy should be exercised during the design process, both for existing residents and future homes.

As a rule, no balconies on the upper storey should overlook the neighbours Northern living space. A solar passive design encourages minimal fenestration on the southern side, which helps address overlooking the Northern living areas of your neighbour.

This rule is subject to the orientation of the site. Should the dominant view\* be towards the south or west then the above rule may be relaxed by the EDAAC.

*\*The dominant view is always towards the train bridge, if the train bridge is not visible then the most prominent view towards either the dam or up the crocodile river.*

## **15. PLAN FORMS AND APPEARANCE**

Plan forms are to be rectangular and must run parallel or perpendicular to each other.

Cylindrical shapes will also be permitted in specific applications to accentuate features such as entrances.

Entrance features should always be articulated. A stone clad gable end with an arched lintel can add to the overall French Provencal style of your new home. The EDAAC will consider other entrance types on condition that they are French Provencal in style.

Top heaviness must be avoided, always consider that heavier elements must be placed toward the ground and lighter elements toward the top. Elements must be appropriately supported by the visual mass of the structural elements below.

Overhanging and any other designs that create a constant sense of tension are not permitted.

See annexure 1 for selected conceptual pictures.

## 16. EXTERNAL WALLS

The house is to be constructed from brick and mortar. The external walls can be finished in plaster or a combination of plaster and natural stone cladding.

No externally mounted wires, conduits and or trunking will be allowed.

### Plastered External walls

Smooth and/ or bag washed plaster is allowed.

Plaster bands around reveals are required and must be indicated on the elevations.

### Painted external walls

Natural earthy colours are allowed in shades sympathetic to the colour of the natural stone and environment.

The walls must be finished with an approved paint technique that creates a distressed and aged look.

Wall colours must be indicated on drawings and should be limited to a max of two complimentary colours.

An entire building element should be painted one colour.

Paint colours for plaster bands or plastered borders must be accurately indicated on the drawings.

Plaster bands should all be painted a colour which compliments the wall colours.

Cement based products that age naturally may also be used.

All external paint colours (including the distressed and aged finish) must be presented to the EDAAC for approval. A sample panel including at least one corner and one window with plaster bands must also be approved by the EDAAC before any work is put in hand. Pictures of the samples must be emailed to [admin@estatedafrique.com](mailto:admin@estatedafrique.com) for review and approval.

White walls will not be permitted.

When re-painting of external walls is required, whether for re-decoration or for normal maintenance purposes, written approval must be obtained from the EDAAC.

### Natural Stone Cladding

Only stone which is naturally found at Estate d' Afrique may be used on the exterior of your new home or boundary walls. Artificial rock or cladding products will not be permitted under any circumstances.

Natural stone cladding/ stonework must be applied to the exterior of your new home. The percentage of stone cladding that is required is at least 10% of your total gross building area. A house which has a GBA of 550sqm will be required to have at least 55sqm of stone cladding.

Stone cladding must be applied to the entire building element and must be correctly indicated on plans, sections and elevations. Floating panels of stone within plastered walls will not be approved. Stone cladding will not be allowed to end on a corner.

Natural stone cladding is approximately 140mm thick, over and above thickness of the structural brick-work.

Particular care should be given to stone cladding details around corners and to soffits of openings.

Where natural stone walls are used, window and door openings may be refined using plastered borders around the openings, which must be painted as above.

Corner-stone detailing is not permitted.

## **17. WINDOWS AND EXTERNAL DOORS**

Windows and doors indicated on drawings shall be the actual windows and doors to be installed during construction.

No deviation from the approved drawings shall be permitted without re-submission and approval.

Windows and doors are to be vertically proportioned in the following materials and finish.

Timber –	naturally sealed, oiled in a natural to dark stain or painted dark browns or black.
Aluminium –	powder coated bronze, charcoal or black.
PVC –	only timber finish (no white PVC)

Small square windows will be allowed, but the dimensions must not exceed 600 x 600mm.

A single round feature window with stained glass may be incorporated into the design.

The use of semi-arched and half-round windows is encouraged.

Doors shall be traditionally proportioned for single and double doors. (Max 1.8m wide traditional French size and appearance, sliding doors are not permitted.)

Ground and first windows and doors to be on axis with each other.

To avoid the illusion of horizontal openings no windows or window/ door combinations are allowed to be placed adjacent to each other. A brick pier of at least 230mm must separate the elements.

Large horizontal openings will only be permitted under verandas and pergolas. The minimum depth of the veranda or pergola must be at least two meters from the front of lintel over the opening to the leading edge of the veranda or pergola.

Glazing must be specified according to SANS XA and 204.

No reflective glazing.

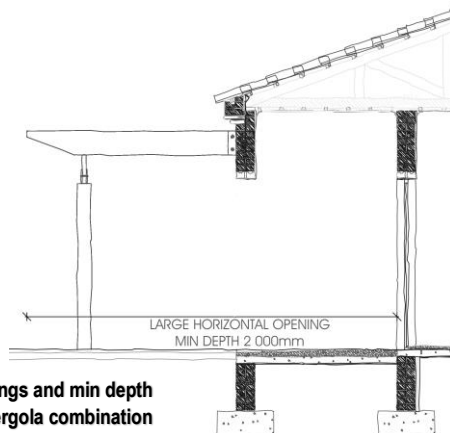
Pivot doors are not permitted.

Plastered half-round surrounds are not permitted.

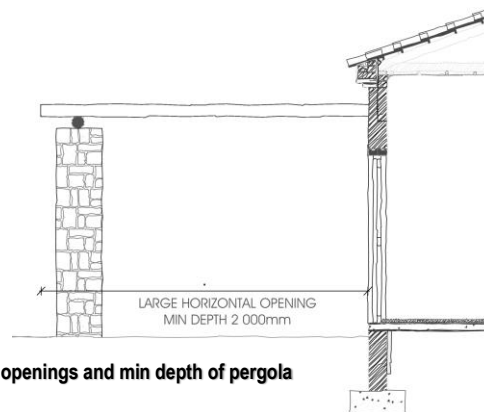
Stone clad surrounds are not permitted.

Standard 'Cottage pane' windows are not permitted.

The use of burglar bars is discouraged. If required burglar bars will be permitted on the insides of windows only to the approval of the EDAAC.



**Large horizontal openings and min depth  
of veranda/ pergola combination**



**Large horizontal openings and min depth of pergola**

## 18. SHUTTERS



Shutters indicated on the drawings shall be the actual quantity, shape, size, and material to be installed during construction.

Shutters are compulsory in the following ratio. For every 100sqm of gross building area, at least (1) window must have a pair of shutters. In practice a 550sqm house will have at least 6 shutters.

Shutters are to be well positioned, (visible from the street or public open space) and must be indicated on the elevations and installed to add character to the design.

Shutters are to be installed in pairs (ie a single window is to have two shutters, one on either side. Only narrow windows, less than 600mm wide, may have a single shutter on one side.

Doors may also be fitted with shutters if required.

Boarded or louvered shutters to the approval of the EDAAC may be used. Shutters may be fixed or be functional. Functional shutters must be swing type, not sliding. Non-functional shutters must still be installed to read as if functional.

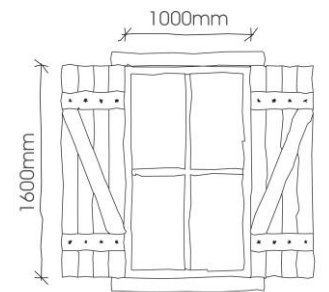
Materials and finishes that may be considered are

**Hardwood Timber** - naturally sealed, oiled in a natural to dark stain or painted dark brown. Other colours will also be considered by the EDAAC but must be submitted for approval.

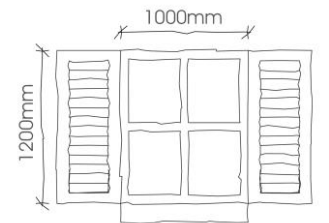
**Aluminium shutters** - powder-coated to match colour of doors and windows (may only be used when the doors and windows of the building are aluminium).

**Other synthetic material** – material and colour to EDAAC approval

A sample for the shutter material, construction design, as well as colour, must be presented and approved by the EDAAC before any work is put in hand.



Recommended window proportion with plaster band and boarded shutters



Acceptable window proportion with louvered shutters



## 19. GARAGE DOORS

Single timber garage doors (max width 2440mm).

Minimum of one double garage per erf (with two single garage doors).

Max of two doors may be positioned side by side.

Doors must be separated by a minimum 350mm masonry pier.

Only single horizontal slatted timber garage doors will be permitted with natural or dark timber stain.

## 20. BALUSTRADES AND JULIET BALCONIES

Only Provencal style balustrade designs will be considered for approval. Accurate drawings of the actual proposed design must be submitted with your drawings for aesthetic review. If in doubt, use the pre-approved example type balustrade.

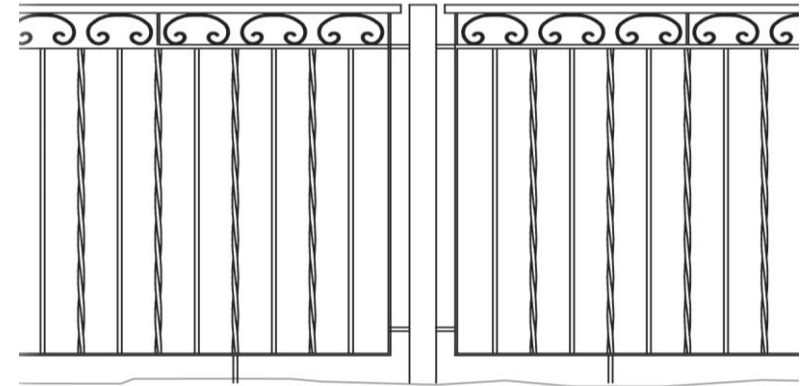
Simple and elegant steel or wrought-iron.

Colour black or antique bronze to the approval of the EDAAC,

Fixed in such a way that no unsightly rust-marks are left on surrounding surfaces.

Juliet Balconies are limited to a max cantilever of 1m and must add to the overall French Provencal style. No other cantilever structures or any other type of structural gymnastics is allowed.

Long continuous balustrades exceeding 3.5m are not permitted. Balustrades exceeding this length need to include piers as per clause 25.



Example Type Balustrade



## 21. PITCHED ROOFS

Pitched roofs are to be at 20°, single or double sloping roofs with simple gable ends with a max span of \*10m, treated with verge tiles as per detail.

*\*Larger spans will only be allowed by special approval with valid motivation.*

**Coppo Domus, Cotto-Possango or similar approved** tiles are allowed.

Colour of roof tiles is to be a blend of at least 3 colours with a minimum of 25% of each colour.

Colours to be a blend of terracotta, yellow, white and/ or black.

All colour blends will need EDAAC written approval before ordering or installation. Submit a full specification with images of the roof tiles to [admin@estatedafrique.com](mailto:admin@estatedafrique.com) for review. Feedback or approval will be provided within 3 working days.

To avoid delays to your construction programme, it is recommended that your roof tiles be ordered as soon as possible.

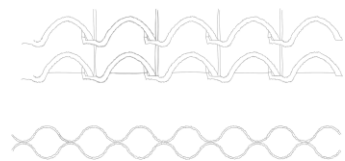
Roof hips are discouraged but will be permitted under special circumstances.

Overhangs are constructed of two tiers of the 'over-and under' roof tiles, each with a cantilever of 150 mm, as per the detail. Total roof overhang should be restricted to 450mm maximum.

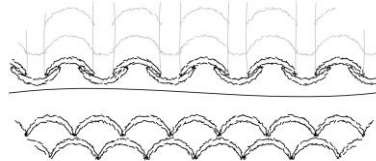
Alternatively, overhangs can be constructed of two tiers of the big six sheeting, each with a cantilever of 75 mm, as per the detail. Total roof overhangs should be restricted to 250 mm maximum.

Plaster-work between the roof and the roof edge may not be painted and should remain the natural colour of the cement plaster.

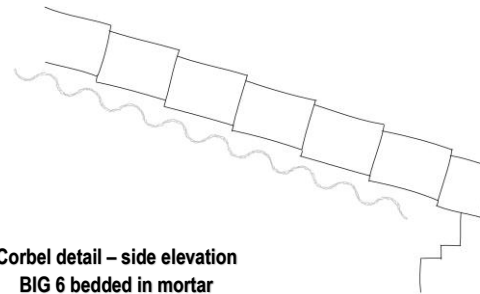
The standard construction roof edge section and elevation is available in PDF format in the welcome folder on drop box.



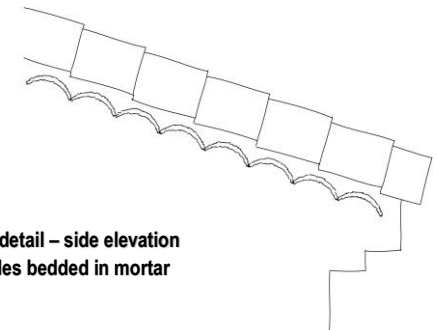
Corbel detail – front elevation  
BIG 6 bedded in mortar



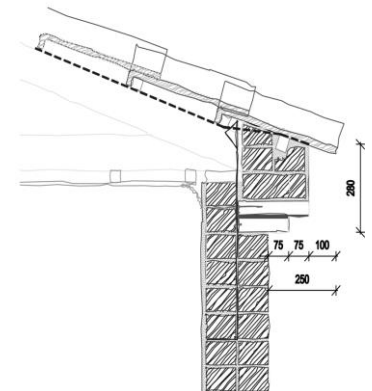
Corbel detail – front elevation  
clay tiles bedded in mortar



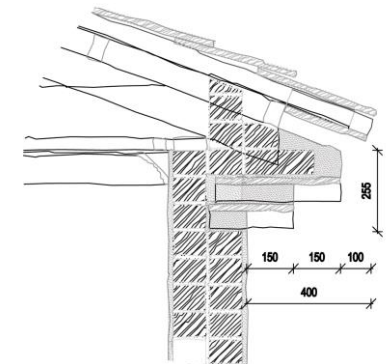
Corbel detail – side elevation  
BIG 6 bedded in mortar



Corbel detail – side elevation  
clay tiles bedded in mortar



Corbel detail BIG 6 - two tier



Corbel detail - clay tile - two tier



Gutters and downpipes as a rule are not permitted. The EDAAC will, on individual merit, conditionally approve gutters and downpipes as a relaxation to the rule. Relaxations will only be considered where absolutely essential (not surrounding the entire house) and on condition that the proposed gutters are not visible from the street or public open space. Effected neighbours will also need to sign off on the relaxation. This must be indicated on the **CONTRAVENTION OR PROPOSAL FOR CONSIDERATION form** in Appendix C. 1:20 section details must be submitted with stage 2 drawings clearly showing the roof edge, corbeling, fixing method, type, colour and supplier. If approved the approval will be conditional and subject to a sample being approved by the EDAAC on site. The gutters and downpipes must also be indicated on the roof plan, sections and elevations. Only Everite fibre cement half round gutters and down pipes or powder coated half round gutters which blend with the colour of the house or corbeling positioned just below the roof tile will be considered for approval. New and existing houses need to follow the same approval process.

## **22. FLAT ROOFS**

Roofs are to be predominantly tiled pitched roofs, with small sections of flat concrete roofs where required.

Concrete roofs should not exceed 25% of the total roof area.

Flat concrete roofs are to be covered with clay hollow tiles or natural, lightly coloured stone chips/ gravel.

Parapet walls must be waterproofed with a cementitious waterproofing system and then covered with over-and-under clay tiles imbedded in mortar. Alternatively, the Coppo Domus or Cotto-Possango clay roof tile can be imbedded in mortar at a zero-degree angle on top of the parapet wall. The clay roof tile must overhang the parapet wall by a minimum of 10mm to a maximum of 30mm.

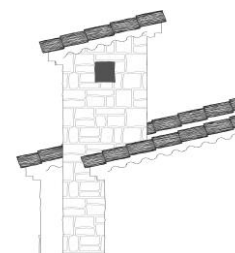
All stormwater drainage from flat concrete roofs must be discharged at ground level via downpipes which have been built into the walls or discharged using precast concrete gargoyle (rainwater) spouts. No uPVC spouts will be allowed.

## **23. CHIMNEYS**

Chimneys are to be constructed of brickwork or natural stone, with corbeled edges as per the image.

*Fixed steel cowls will be permitted if the following conditions are met.*

- The house must have at least one brickwork chimney as described above.
- The proposed flue and cowl must be painted black.
- No rotating, turbine or fixed Chinese cowls will be permitted.
- The flue pipe is limited to a max of 200mm Ø.
- A max of 1 steel flue pipe and cowl will be allowed per house (stand).
- 1:20 details or images must be submitted with stage 1 drawings or on Appendix D for existing houses.
- The flue pipe may not project higher than 1m above the roof where it exists (in compliance with SANS 10400 part V).
- Flue pipes may not be installed through the ridge or within 600mm of the ridge.
- The EDAAC reserves the right to reject any flue or cowl which does not conform to the above requirements.



**Single pitched**



**Double pitched**



## **24. PERGOLAS, COVERED TERRACES AND ROOF CANOPY**

Must form an integral part of the design of the main structure and may not read as add-on structures.

## Pergolas

Posts can be constructed from loadbearing brickwork which are plastered and painted or stone clad, CCA treated poles or square cut hardwood timber naturally sealed or oiled in a natural to dark stain finish.

Rafters and beams to be constructed from CCA treated poles (timber lattes are also acceptable) or square cut hardwood timber which is naturally sealed or oiled in a natural to dark stain finish.

It is encouraged that pergolas be covered with vines or other traditional decorative creeper.

### Covered Terraces

Pitched roof at 20°, to be constructed from a clay roof tile (clause 21) to match the main structure and to be supported on loadbearing brickwork which is plastered and painted or stone clad.

Rafters and beams to be square cut hardwood timber which is naturally sealed or oiled in a natural to dark stain finish.

### Roof Canopy

Cantilever roof structure of max 1.1m as per the detail below is permitted over traditionally proportioned single and double doors.

Pitched roof at 20°, to be constructed from a clay roof tile (clause 21) to match the main structure.

The support structure may be constructed from hardwood timber or steel but if steel is used the profiles must be oversize to represent a robust timber member.

Verge tiles must be securely fixed to cover the side profile of the tiles (epoxy might be required for this)

The flashing must be painted to match the wall and the colour of the roof tiles.

The EDAAC can reject any roof canopy (designed or installed) which does not conform to the intent of this clause.

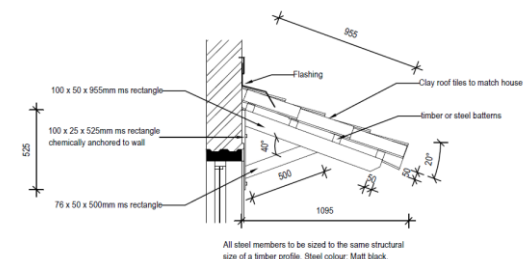


Colours and finish to match those used on the house

Translucent plastic sheeting is not permitted.

No fixed aluminium, plastic or metal awnings, screens or coverings of any sort will be permitted.

No carports or lean-to structures of any kind are permitted.



## **25. STRUCTURAL COLUMNS, PILLARS AND PIERS**

Structural columns, pillars and piers may be constructed of load-bearing brickwork which is plastered and painted or clad in natural stone as described under external walls.

No round columns are permitted.

Pillars may be capped with clay tiles or a pre-cast concrete pediment, with or without a concrete ball. The diameter of the ball should be at least the smallest dimension of the column. A 85mm brick coping, plastered and painted, projecting all round by 30mm is also permitted.

Precast concrete elements must be painted and aged as part of the overall colour specification.

## **26. PAVING AND EXTERIOR FLOOR FINISHES.**

Site paving from the road to the front of the house to be concrete cobbles or clay brick, in a colour to match natural stone. No other colours or materials will be acceptable.

A strip of paving 1 metre wide shall be installed around the perimeter of the building in order to collect and discharge storm-water from the roof overhang.

Entrance porches, patios and all other areas which can be seen from the perimeter of the site are to be finished with paving or Cemcrete products in neutral earthy colours or floor tiles which are neutral earthy matt colours (no white or other light glossy floor tiles will be permitted).

Hardwood and composite timber are permitted as finishes around pools and for patio decks.



## **27. OUTBUILDINGS**

Outbuildings, garages and additions should match the original design, both in elevation and in material use.

No staff accommodation should be nearer the street than the main dwelling unless contained under the same roof or integrated into the total design.

## 28. BOUNDARY WALLS AND FENCES

The approval of boundary enclosures is at the sole discretion of the EDAAC.

It is recommended that there is no front boundary wall, with the front door and garages accessed directly from the street.

Should the owner require an enclosed area for the control of small pets or for any other reason, boundary enclosures as follows will be considered by the EDAAC

Brickwork which is plastered and painted or clad in natural stone as described under external walls is allowed.

Detail elevation and sections of the boundary walls and infill panels/ fences are required at a scale of at least 1:50 for review and approval by the EDAAC. Indicate material/ finish and colour. Dimension the elevations and sections as per max and min allowed heights as specified below. The site plan must clearly indicate the boundary type referenced to the applicable detail (street, public open space or common boundary).

On steeply sloped sites the entire boundary wall elevation/s must be submitted at a scale of 1:100. This is in addition to the above requirement.

No palisade fencing will be permitted.

### **Street boundary and boundaries onto public open space**

Front boundary may not be solid.

For added privacy neatly trimmed hedges and planting may be established along the length of the wall.

The design of the wall must consist of piers and infill panels, not just a straight wall. The max height of piers is limited to 1.5m measured from NGL. The piers must be well articulated and preferably finished in natural stone cladding. All piers must receive an 85mm brick coping, plastered and painted, projecting all round by 30mm or under and over roof tiles imbedded in mortar at a 20degree angle.

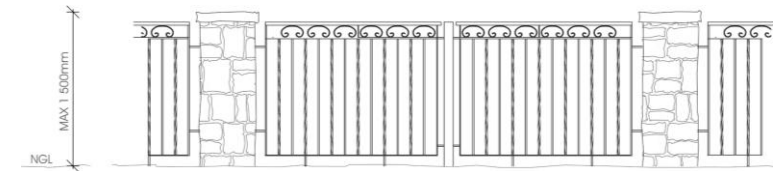
The max height of the permeable infill panels is limited to 1.5m measured from NGL. A solid section of wall may be built below the infill panel, between the piers, to a max of 500mm measured from NGL. Permeable infill panels may be constructed from steel, hardwood timber, wrought iron or treated poles.

### **Common boundaries between properties.**

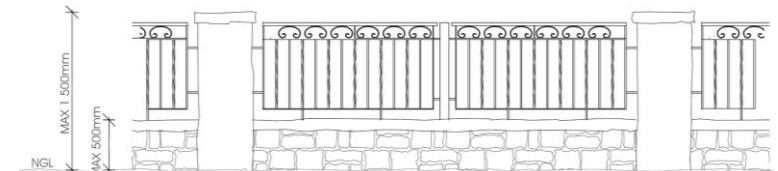
Maximum height of 1.5m meters where required.

May be a straight 230mm wall or a 115mm wall with piers as described in SANS 10400.

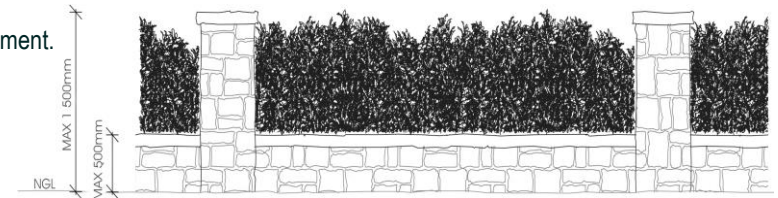
The owner that constructs the wall will be responsible for plastering and painting the wall to the same standard and finish all round.



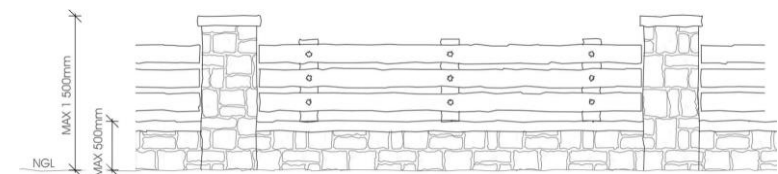
**Street and public open space- steel infill panel**



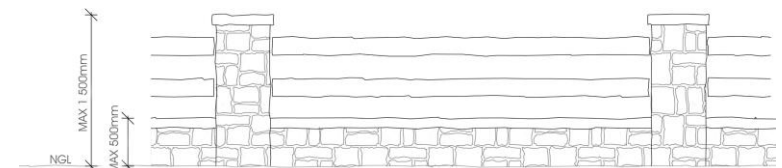
**Street and public open space- low wall and steel infill panel**



**Street and public open space- low wall and hedges**



**Street and public open space- low wall and hardwood timber slats**



**Street and public open space- low wall and treated timber poles**

## **29. SERVICE YARD – LAUNDRY REFUSE AND GAS**

All dwellings must have an enclosed service yard limited to an area of approximately 5m x 4m.

Clothes lines, gas cages and bins must be concealed within the service courtyard and must not be visible from the street, private open spaces (and where possible) the neighbours.

These areas to be walled in and well secured, consistent with the character of the house. Yard walls are limited to a max height of 1.8m from NGL.

Brickwork which is plastered and painted or clad in natural stone as described under external walls is allowed.

Air conditioners, Heat pumps and other cooling and/or heating, and other electro-mechanical equipment are to be concealed within service yards. In the event that this type of equipment is not installed during the build, the necessary space must be made available and indicated on the plan for future installation of such equipment.

The River Side cluster units might need to provide a drying area within the garage if it is not feasible to have a walled external service yard. Washing line to be indicated on plan.

## **30. PEDESTRIAN, GARDEN AND DRIVEWAY GATES**

All pedestrian, garden and driveway gates must be similar in design

Gates must be designed to match the fence and may not be higher than the adjoining walls. Provide details for approval.

## **31. RETAINING STRUCTURES**

Changes in level shall be addressed by creating terraces, ramps or steps sympathetic to the natural contours of the site.

Retaining walls shall not exceed 1m in height. Any walls exceeding this height shall be terraced and stepped back by at least 600mm. Refer SANS 10400 part D – public Safety.

Motivation and EDAAC approval is required for higher retaining structures.

It is recommended that retaining structures be clad in natural stone.

All retaining structures must be designed by a registered structural engineer.

*Additional and specific to the waterfront stands*

To maintain a coherent look and to assist in reducing maintenance, all retaining structures forming part of the riverbank or in the water must be clad in natural stone.

## **32. HOUSE NUMBERS**

An identification number for each unit must be displayed in an obvious position. Numbers max 150mm high.

Use the existing Estate d' Afrique signage and font as a guideline for the design.

## **33. JETTIES**

No jetty shall be constructed below the 1 in 100 year flood line, without the written consent of the Department of Water Affairs and Forestry (DWAF) being obtained by the owner. Detail designs for private jetties should be submitted to the EDAAC for approval.

## **34. LANDSCAPE REQUIREMENTS**

Utilizing the services of an approved Landscape Architect is encouraged.

Street fronting areas have the potential to greatly enhance the Provençal architecture by creating a landscaping “thread” that runs through the Estate,

The street front of each unit shall be landscaped by the owner, incorporating landscape furniture such as fountains and other features to contribute towards the character of the village, to the satisfaction of the EDAAC.

Care should be taken in the design to ensure that sufficient visitors' parking exists behind garages, to avoid parking of vehicles inside the road reserve.

Each owner shall be responsible for the landscaping and maintenance of the sidewalk adjacent his property. If the owner neglects maintenance of his sidewalk, The Association will execute the required work, and charge the owner(s) for such work.

Other plants intended for landscaping should be selected from an approved/ recommended plant-list, available on the Estate's website, [www.estatedafrique.com](http://www.estatedafrique.com) . Trees are to be carefully selected from the approved tree list and positioned to minimise the obstruction of views of neighbouring owners. The height of trees is restricted to 7 metres.

The following is the minimum plant requirement that shall apply to all street fronts.

Five (5) lavender plants or Two (2) Floribunda rose plants or One (1) Olive tree for every meter of street fronting boundary as per SG diagram.



In practice a 20-meter street front will consequently require 100 Lavender plants or 40 Floribunda Rose plants or 20 Olive Trees (or a mixture of the aforementioned).

These minimum landscaping requirements as described above must be noted and indicated on all building plan submissions.

Back gardens should at least have grass as an absolute minimum.



### **35. SOIL, WASTE PIPES AND SWIMMING POOLS**

All plumbing and drainage pipes are to be concealed in walls. Only the access points are to be covered with removable fibre cement board and painted the same colour as the wall the rest of the duct is to be built closed. The approximate size of these removable access panels is 345mm(w) x 340mm(h).

Ducts are not to protrude from the wall. A 345mm cavity wall works well to conceal plumbing and service pipes.

Swimming pools to adhere to all safety requirements (SANS 10400 PART D) - no horizontal fence designs will be allowed.

Fence and wall designs to comply with clause 28 of these rules

Swimming pool backwash water must be pumped into a soak away pit on site or a backwash tank. No backwash water may leave the site or negatively affect the landscape.

### **36. SATELLITE DISHES AND AERIALS**

Satellite dishes and aerials should be positioned as discreetly as possible below the eaves, their position to be indicated on the drawings.

Dishes must be no more than 600 mm diameter.

### **37. SOLAR WATER HEATERS AND PHOTOVOLTAIC (PV) PANELS**

Photovoltaic panels (electricity) as well as solar panels (water heating) to be flush mounted on the roof (i.e. 20 degrees), mounted as inconspicuously as possible.

Only split system solar water heaters are permitted. Cylinders (Geysers) should be inside the roof space and not visible on the outside.

### **38. AIR CONDITIONING UNITS AND HEAT PUMPS**

No visible air-conditioning units or heat pumps will be permitted (also refer to clause 37 – Cylinder and Geyser). Condensing units should be mounted no more than 1,2m from the outside ground level, and may not be visible from the street.

If the external unit is still visible from the street, at a level of 1.2m from the ground level, then it must be appropriately screened. The final aesthetic clearance certificate will only be issued once the unit has been screened to the satisfaction of the EDAAC.

No reticulation of air conditioning units may be surface mounted. They may be housed in ducts or can run in trucking on the inside of the unit.

External conduits and trunking will not be allowed.

Evaporative cooling may be considered if the evaporator is designed with the structure of the roof, to resemble a chimney or other acceptable roof structure.

### **39. LIGHT FITTINGS**

External light fittings should French Provencal style and of sufficient proportions to match the exterior of the house.

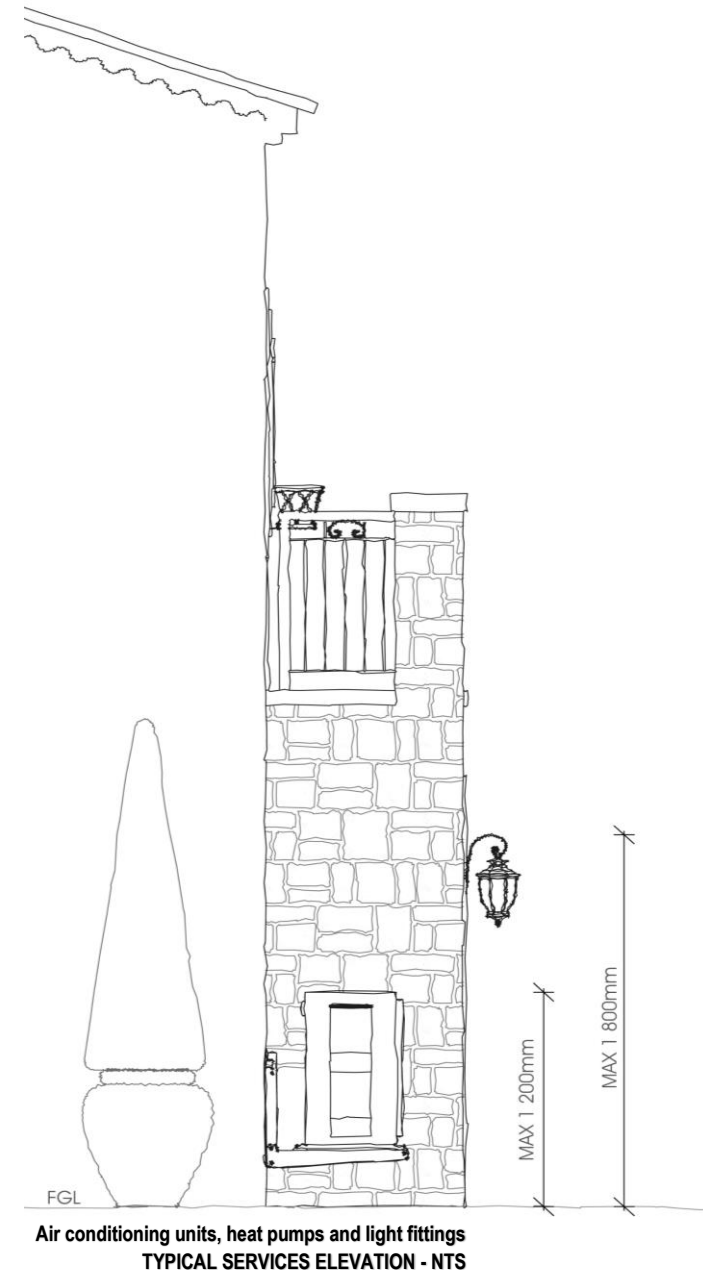
Light fittings should be indicated to scale on elevations.

All exterior lights are to be located in such a position so as not to constitute a nuisance to neighbours or other Estate users.

The height of external lights along common boundaries may not be more than 1.8m above the finished ground level.

No bright flood lights will be permitted.

Only downward facing lights in warm white will be permitted.



## **40. STORM WATER AND GREY WATER STORAGE**

Storm water is collected on internal roads and is dispersed to a suitable drainage course downstream of the proposed Development.

Storm-water can be collected in water collection tanks, which may not be visible from the street.

Water storage tanks for grey water capture are to be buried underground or concealed behind screens

Tanks must be clearly indicated on the site plan. Details and elevations need to be provided which indicates how the tanks will be concealed/ screened.

## **41. WATER CONNECTION POINT**

A piped water reticulation network will be provided with individual stand connections and provision for fire protection.

## **42. SEWER CONNECTION POINT**

All stands will be connected to a piped sewerage reticulation system at the lowest end of each property, which will be connected to a common sewerage works.

## **43. FIBRE CONNECTION POINT**

A fibre connection point is available to each stand. The owner is responsible for the installation of the sleeve and fibre reticulation from the street to the house. A 25mm sleeve must be indicated on the site plan from the fibre connection point into the house.